

# COMMERCIAL INSPECTION REPORT

**Client:**

Bimal Patel

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**INSPECTED PROPERTY ADDRESS:**

**Super 8 Wyndham Motel**

3358 Cerrillos Road

Santa Fe, NM 87507

Inspection Date: 10/9/19

Inspection Time: 9:30 AM

Report Number: **10683**

Inspectors: Robert Willis and Francisco Huerta

**WEATHER:**  Sunny  Cloudy  Rain  Snow Accumulation

Exterior Temp: 75° Exterior Humidity: 10 % Interior Temps: ~70° Interior Humidity: 12 %

Clients were Present:  Yes  No



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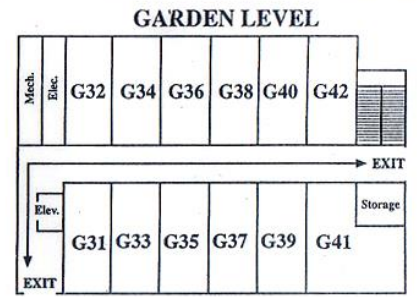
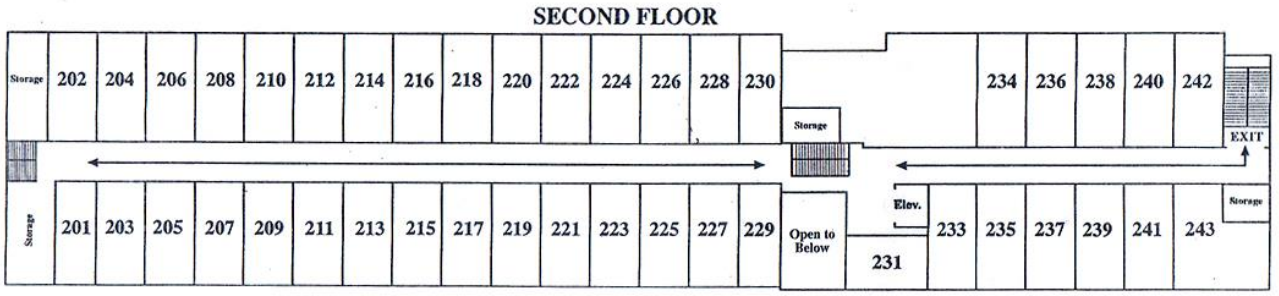
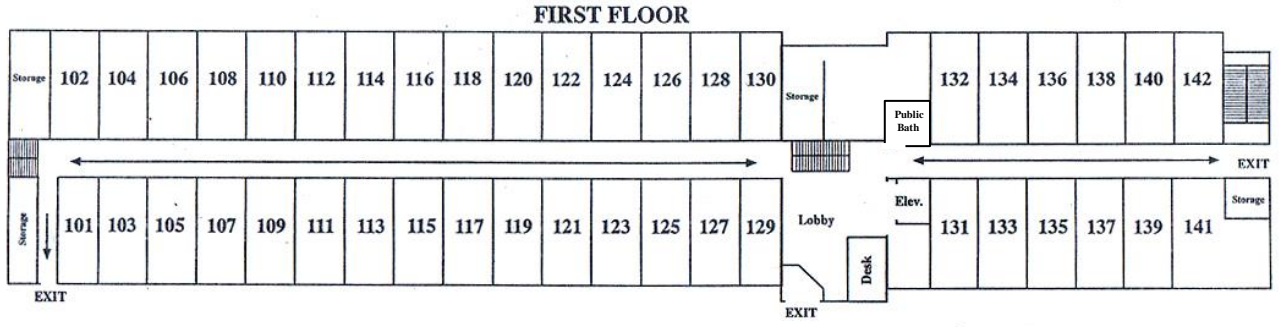
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**Floor Plan & Room Layout**  
**Super 8 Wyndham Motel**  
**3358 Cerrillos Road**  
**Santa Fe, NM 87507**  
 Not to Scale



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### 0.0 Scope of the Inspection:

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All components designated for inspection are within the **ASHI** Standards of Practice. It is the goal of the inspection to put the clients in a better position to make decisions on the buildings' structural integrity and for the longevity of all the buildings' systems and finishes. Not all problems or defects can be identified during this inspection. Unexpected repairs should still always be anticipated.

This inspection should not be considered a guarantee or warranty of any kind. No maintenance services, removal of cowlings or destructive discovery during the inspection have been performed except for devices and equipment that were discussed beforehand with the owner and client during the inspection.

### 1.0 Summary:

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The Super 8 by Wyndham Motel & Suites is a locally owned hospitality franchise business first developed in 1973-1974 by two men that created their new Super 8 Motel corporation that was later renamed Wyndham Rewards in 2008; an American timeshare company. Super 8 Motel original date of construction was built in 1979 and thereafter; Wyndham corporation developed and built another 24 guest rooms with a 3-story wing in 1989. Present-day Motel has 89 guest rooms and 4-suites, hot breakfast service, lobby and other light amenities.

The original building's construction type and thereafter is Type V-A; protected wood frame, commonly used in the construction of apartment buildings with no exposed wood. The construction has a foundation with continuous concrete stem walls on the perimeter that are bearing on hidden and continuous concrete footings. There are four rows of wood posts center on circular concrete piers. The entire building is a platform type of construction with 2x12 joists floor @ 16-inch on center above the Crawl Space that is supporting the First-Floor level with ply-subflooring and carpet. Second Floor-Level is the same type of construction. The perimeter walls are platform type of construction, (not balloon-frame) with wood 2x6 framing @ 16-inch on center. The Roof is made of engineered wood trusses supporting a flat built-up roof above the Second-Floor level and onto the extended level on the newer 1989 addition having Garden Level guest rooms that are 42" below grade at the windowsills that is three stories high but the roofs are still level with the original building. The roof is a Torch-down membrane on the 1979 portion of the roof and Hot/Tar & Mop membrane on the 1989 portion of the roof with raised 3-foot parapets and eaves that are braced.

The Lot size is approximately 1.67 acre<sup>+/-</sup> on the corner of Cerrillos Road that is a commercial route and Avenida de las Americas; 19-miles from downtown district of the City of Santa Fe.

These buildings were built by local and commercial building standards by the specifications of the UBC codes that are out-of date with the newer 2010 ICC codes and standards and thereby; all State and local Codes for public, health and safety will need to be Inspected by the City Building Department and the Fire Marshall and may require upgrades and improvements of any outstanding deficiencies before the transfer of a new business license as per requirements set forth by the Authorities with the State and Local Municipalities.

This Commercial Building is in satisfactory condition without any structural deficiencies found or noted but with some exceptions based on poor maintenance and under the Crawl Space that will need better ventilation and repairs to the wiring, plumbing and mechanical means.

The electrical system was found on the 1989 addition was generally found to be in satisfactory condition without any circuit overloads found to the rooms, utilities and laundry facilities for their designed circuits loads. Better air circulation will be needed in the small service room that is housing 5-electric 200Amp rated panels and busbars to maintain and lower temperatures that could impact the panels and breakers. Grounding electrode conductors are present. All safety requirements have been met and all the breakers in the panel boxes are clearly labeled. The original building has separate 100Amp rated panels with labeled breakers on the Southside of the hallway that are supplying electrical power for two guest rooms by design.

The heating and air conditioning units to each of the 89-rooms and 4-suites are by independent and mostly electrical **Amana PTAC** units and are being serviced and/ or replaced, as needed.

The other rooms, Lobby area has a combination **Carrier** furnace/ AC unit and the Office has an electric Inverter on the 2<sup>nd</sup> floor utility closet's ceiling that was NOT working at the time of this Inspection. Both of the latter rooms have outdoor condensers for the AC units. There were many defects found by *Thomas Plumbing & Heating* analysis for repairs and other concerns.

**Thomas Plumbing & Heating Report:** (Licensed Consultant for the HVAC systems)

*“Found Carrier heating/cooling unit downstairs with hot water heaters. Unit needs to be cleaned and serviced. Needs regular maintenance. Found elect wires not connected. Unit is dirty and air filter compartment needs better support for filter. Condensate drain needs to be brought up to code. Main gas flue piping needs to be corrected. Slope of piping is grading down. System requires a minimum of 1/4” slope upwards for proper gravity flow of flue gaseous. Refrigeration line needs to be cleaned and tested for leakage of freon. Combustion air intake needs to be cleaned and critter holes covered up. Condenser units outside appear to be in good condition. Main laundry room dryers need exhaust flue piping fixed. Second floor electric heating needs to be cleaned and check filter. Second floor water heater room needs to be cleaned. Walls need to be repaired for proper fire rating. Return combustion air that was added needs to be removed so not to allow and gaseous fumes into work area.”*

Cost of Mechanical repairs & upgrades and for immediate servicing estimate is: **\$25,000.00**

The responsibility for maintenance and service of these units as stated by *Bud Singh*, building manager are handled on an “as needed” basis and/ or replacements on demand.

The ventilation systems are through duct vents that are satisfactory for their intended mechanical design for an air exchange at least 5-times per hour on all rooms throughout. Make sure all intake filters are Hepa type to minimize allergens.

$$\text{Air Changes/ hour} = \frac{\text{CFM} \times 60 \text{ min}}{\text{Volume of Room}}$$

The plumbing system throughout that can be seen throughout this Inspection were generally in **Satisfactory Condition**.

The roofing systems on this building are in **Fair Condition** within the two phases on the existing roof and the reappointments over the past years of continuing maintenance. Several areas of possible leakage were noted on the Repair List and the Photographic Section of this Report. Many old patches and repairs were found. Because the roof is ballasted, the visual assessment of the membrane itself is difficult. Bad edging seams were noted, and this needs immediate attention with a professional roofing company that is expert with flat roofs and to consider a tear-off & reroof to extend warranties.

The stucco exterior walls throughout the complex of buildings were in **Fair Condition** for patching repair and paint that should be by elastomeric painting work, as needed. Damaged areas under windowsills on the Garden Level will need repairs and the parapets of this Building were observed.

Windows and tempered glass store-front doors were found to be in **Fair Condition**, that are dated and most originally installed to be least 30-40 years old that may require replacing where condensation between the thermopane glass was observed. Windows have become weathered with a few broken latches that will need immediate repair for security and/ or replacement.

The asphalt parking lot and driveways are in **Poor Condition** showing potholes and alligator cracking that will need a 2-inch hot asphalt overlay and restripe. Handicap parking is typical as per America with Disabilities Regulations for businesses, State and local governments and Standards.

## 2.0 Introduction:

As per request, a visual inspection was performed on the property. **AHI** inspection is limited to identify the existing conditions of the following readily visible building components.

- |                          |                               |
|--------------------------|-------------------------------|
| 2.1.1 Structure          | 2.1.6 Electric Systems        |
| 2.1.2 Heating System     | 2.1.7 Air Conditioning System |
| 2.1.3 Plumbing System    | 2.1.8 Roofing Systems         |
| 2.1.4 Ventilation System | 2.1.9 Interior Components     |
| 2.1.5 Insulation         | 2.1.10 Elevators              |

This assessment meets or exceeds the **ASTM** standard E2018-99 for Property Condition Assessments. This report provides recommendations, without a cost analysis and for priorities of:

- 2.1.10.1 Remediating major deficiencies,
- 2.1.10.2 Updating major components that are aging, and
- 2.1.10.3 Undertaking further detailed investigations are not included on this reporting, unless noted.

Recommendations are for remedial actions within the scope of this inspection and typical for the normal maintenance of the building.

This report is intended for the exclusive use of our client. Use of the information contained within the Report by any other party is not intended and therefore we accept no responsibility for such use.

This report is preliminary in nature. Before any major repairs are undertaken, **AHI** recommends that a performance specialist prepare a detailed condition survey and development plan. Contractors should be contacted for the exact quotations if repairs or maintenance should become an issue.

Only the items specifically addressed in this report were examined. No comment is offered on fire protection equipment or on fire code regulations, building codes and building bylaw compliances, or environmental concerns. City Fire Marshall shall determine the Building needs for fire safety.

### Building Description:

This property on 1.67<sup>+/-</sup> acres has one commercial building with minimal open space and adjoining asphalt parking lots; sufficiently designed for guest and employee's parking.

On the property, there's an original two-story commercial building developed in 1979 with a flat roof and pop-out eaves incorporated with the parapet heights and by having two level floorplans with a central 5-foot hallways and the guest rooms of similar sizes and configuration on each side. An addition was develop in 1989 with the same architectural design similar to the original building and the roof heights are the same with upper eaves is an added three-story building of the same width and room layout with a central hallway and two-story Lobby comprising a row shape building is for commercial use, primarily for hospitality, lodging and with breakfast services. It was determined that the building have an approximately area of ~26,000 square feet. The building was constructed and renovated between 1979/ 1989 to present.

The building is presently occupied by Super 8 Wyndham Motel & Suites and is currently open for all related hospitality services.

## Document Review and Interviews:

Plans were not available for review, only a schematic floor plan of the room locations. It is recommended that working drawings & documents are requested through public records. The owner's manager was available for interview and *Bud Singh* was very informative with the details of the building. Public review records were not included.

## ADA and Accessibility Review:

Review for compliance with ADA and accessibility requirements were observed and compliant. Handicap and accessibility requirements have been met with only room designated for Handicap use for the bathrooms, shower stalls, handrails, proper doors, ramps for first and second floors and lower level. One 3-floor level Otis elevator was present and operating. Public Restroom is Not Handicap compliant. Center Lobby ramps will need to have the railing raised to correct hand heights as per State UBC Codes.

## 3.0 Structure:

### 3.1 Description:

- 3.1.1 Two and Three-story building is a Type V-2 construction with covered wood frame on building.
- 3.1.2 The masonry foundations support wood frame over a Crawl Space with 4-rows of post/ pier with concrete pads and a poured concrete exterior perimeter stem walls cover by conventional stucco.
- 3.1.3 The roof deck is supported by engineer trusses and insulated in-between with fire blocking and supporting plywood subfloors on the first and second story rooms with a carpet floor covering and Torch-down, (1979) & Hot/ Tar & Mop (1989) membrane roof systems.

### 3.1 Observations and Discussion:

- 3.2.1 No major structural defects were noted.

## 4.0 Electrical:

### 4.1 Description:

- 4.1.1 PNM electrical service meter to supply two locations with underground piping.
- 4.1.2 Building Unit; are equipped with a split load needs of 15-100Amp breaker panels plus one 200Amp breaker panel on the (1979 portion), 208v/120v single phase three wire systems primarily for the 60-rooms and suites; and on the (1989 portion) are 5-200-amp, 208v/120v single phase three wire systems primarily for the 29-rooms and suites, Lobby, Public areas, Laundry facilities and utilities.
- 4.1.3 Lobby is equipped with a 200Amp 208/120v single phase three wire system for the HVAC inside the Utility room; with one meter at the Northeast location behind the PNM Transformer.
- 4.1.4 The switch board panels were opened, and all wiring observed was copper. No aluminum was reported except on PNM Service wire.
- 4.1.5 Combination of mostly fluorescent, exterior sodium and/ or metal halide and interior & exterior recessed incandescent were present.

### 4.2 Observations and Discussion:

- 4.2.1 While detailed load calculations were not performed, no problems are suspected with the service capacity. The service should be adequate for the present usage.
- 4.2.2 There is adequate clearance in front of all the panel boxes of 36 inches in front of the panel at all locations of the Building.

## 5.0 Heating Systems:

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### 5.1 Description:

- 5.1.1 The 89-rooms are heated and cooled by electrical **Amana PTAC** units in each room.
- 5.1.2 The Lobby & Breakfast has one gasfired, **Carrier** heating and combined with an electric refrigerated cooling unit. The unit vary in capacity from 80,000 BTU/h output capacity to 60,000 BTU/h. There's a ceiling mounded electric Inverter for heating and a smaller cooling condenser present and one air handlers for the Office.
- 5.1.3 There's an evaporative swamp cooler for the Laundry room that is badly worn.
- 5.1.4 Gas service is at two location on the North & East sides of the Buildings.
- 5.1.5 There appears to be separate gas meters at each of these locations.

### 5.2 Observations and Discussion:

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- 5.2.1 While detailed heat loss calculations were not performed, no problems are suspected with the heating capacity, with exception of the out-of Service Office Electric Inverter that was not working at the time of this Inspection.
- 5.2.2 While it is impossible to predict with certainty when the equipment will fail, the average life for heating equipment of this type is 15 to 20 years.
- 5.2.3 The natural gas lines are properly installed with dirt legs and flex piping to all burners.
- 5.2.4 Standard metal b-vents are supplied for the units and are in satisfactory condition.
- 5.2.5 The heating distribution appears adequate in most areas, although pressurization tests need to be verified to possible correct for the possibility of any ductwork leakage. Balancing of the system may be required.

## 6.0 Air Conditioning/ Refrigerated & Evaporative Cooling:

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### 6.1 Description:

- 6.1.1 The Carrier AC unit is 5-tons.
- 6.1.2 The one electric Inverter unit for the Office is 1,500 BTU/h but was not running.
- 6.1.3 The type of refrigerant used in the air conditioning systems could not be verified.
- 6.1.4 The air is distributed through the same air handling equipment previously mentioned in the heating section.
- 6.1.5 One Evaporative wall unit was found outside the Laundry, running but is in need of Service.

### 6.2 Observations and Discussion:

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- 6.2.1 While detailed heat gain calculations were not performed no problems are suspected with the cooling capacity for the Lobby and Reception Desk.
- 6.2.2 As mentioned previously in the Heating section, adequate air distribution is provided in most areas.
- 6.2.3 It is Recommended to consult with a Mechanical Engineer or License Mechanical Contractor to troubleshoot and redesign for an economical and Energy efficient heating & cooling system to conform with the best and modern standards for the future of this building.
- 6.2.4 *Kevin Thomas Plumbing & Heating* has been consulted on this Project.



## 7.0 Ventilation:

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### 7.1 Description:

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- 7.2.1 There were ventilation fans on the roofs for the Utility rooms and for the Guest Room bathroom fans. On the Lobby and Reception Desk, the ventilation systems have been incorporated with the Heating/ A/C Cooling. Evaporative Swamp Cooler for the Laundry Room was operating but worn.
- 7.2.2 The public restroom is ventilated by an individual exhaust fan.
- 7.2.3 The building receives fresh air from the heating and cooling units on the Lobby & Reception Desk.
- 7.2.4 These units are equipped with fresh-air makeup units, which allow fresh air from the exterior to enter through the return air plenum. This introduction of fresh air helps to improve indoor air quality as well as compensate for air that is expelled through exhaust fans.
- 7.2.5 The Rooms are ventilated by direct duct venting through the roof for both levels of the rooms by 12" vents and caps for the first floors and Garden level and 6" vents and caps for the second floors.

### 7.2 Observations and Discussion:

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- 7.3.1 Ventilation of the rooms are provided by localized ventilation vents to the roof and fans located in each of the bathrooms.

## 8.0 Plumbing:

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### 8.1 Description:

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#### Supply:

- 8.1.1 The building is supplied with a 2-inch diameter polyethylene water supply line into the buildings. One main shut off valve is located at the Storage/ Utility room's H<sub>2</sub>O heaters on the 1989 portion of the Building; and at the Storage/ Utility room's H<sub>2</sub>O heaters on the 1979 portion of the Building. Others were not found and should be located by Maintenance Personnel.
- 8.1.2 All supply plumbing examined was copper with a few fittings and short lengths of PEX pipes.

#### Waste:

- 8.1.3 Most of the waste piping is and visible for observation under the Crawl Space. Where visible piping was observed it was ABS & PVC.

#### Water Heaters:

- 8.1.4 There were four 100-gallon gasfired H<sub>2</sub>O heaters, 2-**American Standard's** and 2-**Rheem's** located at both the Storage/ Utility rooms within the 1979 and 1989 sections of the Building.
- 8.1.5 Others smaller tanks were not found and should be located by Motel staff.

### 8.2 Observations and Discussion:

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- 8.2.1 No major deficiencies were noted in the plumbing system during the assessment. The location of the main water lines to the property were metered on the sidewalks.
- 8.2.1 Plumbing estimate on minor repairs for this Project is: **\$18,000.00**.

## 9.0 Roofing:

### 9.1 Description:

#### Flat & Center Crown Pitch:

- 9.1.1 The flat roofs that is centered pitched to slope with 11-scuppers on the East and 11-scuppers on the West lengths on the buildings is covered by a single-ply modified bitumen Torch-down type of roofing system in 36” rolls for the 1979 section of the roof; and Hot/ Tar & Mop on the 1989 section of the roof has been patched and repairs many times over the 40-year life span and now having a longevity for another 5-years.
- 9.1.2 The membrane flashing and roof penetrations are sealed and covered by plastic roof cement and these areas have a mineral covering with “buff” graduals over the Torch-down membrane and “grey” pea-gravel over the Mop/ Tar & Mop portion of the roof to prevent UV damages. Ballast is gravity and some nailed down edges that will need routine maintenance with a professional roofing company to prevent leaking.
- 9.1.3 The overall roof was examined by America’s Roofing Company because of the need for serious attention and with the possibility for a tear-off and new roof for the entire building.
- 9.1.4 America’s Roofing estimate for Repairs with a 2-year Warranty will be **\$40,393.16**.
- 9.1.5 America’s Roofing estimate for a tear-off and new TPO roof will be: **\$119,281.80**.

#### Sloped:

- 9.1.6 Most of the slopes for the flat roofs are good with no ponding observed.

#### Roof Drainage:

- 9.1.7 The flat roof drainage is sloped to a centerline crown to both of the longitudinal sides of the Building to 11-scuppers at 10” x 16” on both sides = 22-scuppers.
- 9.1.8 The Northeast corner over Storage/ Utility room is one story and membrane roof; enclosed by adjacent walls with two parapets and sloped to the North side with one scupper.

## 9.2 Observations and Discussion:

- 9.2.1 The ballast covered Torch-down membrane roof cover appears to be in serviceable condition.
- 9.2.2 The ballast covered Hot/ Tar & Mop membrane roof cover appears to be in serviceable condition.
- 9.2.3 There was minor evidence of leakage as stated by Manager on evidence of past repairs.
- 9.2.4 An infrared roof survey would not be recommended to identify areas of necessary repair.
- 9.2.5 The Torch-down roof cover is within 2-years of its 20-year life expectancy.
- 9.2.6 Proper walking surfaces should be installed on the roof to facilitate servicing of equipment.

## 10.0 Interiors/ Guest Rooms & Suites:

### 10.1 Description:

- 10.2.1 The ceilings on the Hotel Rooms are primarily painted drywall “popcorn” panels.
- 10.2.2 The floors on the Hotel Rooms are commercial grade carpeting in serviceable condition.
- 10.2.3 The wall finishes consist of painted drywall.
- 10.2.4 Bathroom finishes are painted drywall for walls & ceilings and the floor coverings consist of resilient tiles.

- 10.2.5 The Hallways are the same except the carpeting is on the 1979 section of the Building is showing wear with soft spots and is not in serviceable condition.
- 10.2.6 The 1989 section of the Building is a little better but needs attention and possible floor leveling may be necessary.

## 10.2 Observations and Discussion:

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- 10.3.1 The interior finishes are generally in satisfactory and in good condition. It should be noted that extensive maintenance and daily cleaning work is currently be conducted and equipment improvements are monitored by Hotel staff.
- 10.3.2 Since interior components are subjective to the above conditions, very little improvements are needed, except for the continuing maintenance.

## 10.3 Interiors - Lobby/ Breakfast Service/ Office/ Public Bathroom:

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### 10.4 Description:

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- 10.2.7 The ceilings on the Lobby & Reception are 2-stories high with primarily painted “popcorn” drywall panels.
- 10.2.8 The floors on the Lobby & Reception are ceramic tiles, and Breakfast Service is the same.
- 10.2.9 The wall finishes consist of painted drywall with faux Vigas for decor.
- 10.2.10 Bathroom finishes are painted drywall for walls & ceilings and the floor coverings consist of ceramic tiles.

## 11.0 Exteriors:

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### 11.1 Description:

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- 11.1.1 The exterior walls are covered wood frame.
- 11.1.2 The elevations have lightly textured stucco veneers in two distinct colors, white above the Soffits/ parapet line and the walls are buff/ cream and separated by control joints.
- 11.1.3 The windows are metal frame double glazed units with 15% of the thermopane showing condensation failure. All window glazes are operable with sliding sashes & latches. Most of the windows will need a glazing company to replace panes or the entire windows that are badly weathered and in need of repair.
- 11.1.4 There are poured concrete sidewalks on the entry side and around the North & South sides; with exception on the East side where traffic is restricted and soils and vegetation are present, except at the center where concrete steps and walkway to the Utility entrance.
- 11.1.5 The doors are metal frame & glass panel at all entry points with panic bars.
- 11.1.6 There are asphalt parking lots on West and South sides of the Building.

### 11.2 Observations and Discussion:

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- 11.2.1 The exteriors of the building is generally in **Fair Condition** in need of better maintenance.
- 11.2.2 The original metal sliding window units will need repair and/ or new window replacements.
- 11.2.3 Replacements on windowpanes showing at least 15% or more that are failing and showing condensation between the glass panes and/ or just replace the panes with a glazing company.
- 11.2.4 The grading is flat and slope to drain to the South end and is satisfactory.
- 11.2.5 The poured concrete sidewalks at the front of the buildings are in **Fair Condition**.
- 11.2.6 Steel Balusters are present at the Entrance and steel hand railings are present at the exterior Exit door at the Garden Level with concrete steps.

## Exterior - Entrance/ Lobby & Reception Desk:

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### 11.3 Description:

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- 11.3.1 The exterior walls are covered wood frame walls on the Exterior and wood frame and Drywall on the Interiors.
- 11.3.2 The elevations have a lightly stucco veneer in two colors, that was painted with elastomeric paint and is in **Fair Condition** due to the need of repairs above the soffits/ parapets and a Faux Bell Tower.
- 11.3.3 The windows are unknown metal/ clad double-glazed units in **Fair Condition**, whereas some of latches were broken as noted in the few rooms that were inspected.
- 11.3.4 There's a poured concrete sidewalk at the West Entrance side and Asphalt Parking Lots on the full length of the Building to the far South side and beyond to both street entries.
- 11.3.5 The 6<sup>08</sup> store Entrance doors with thermopane panels with adjoining fixed windows units on both sides that are in **Good Condition**.
- 11.3.6 There is an asphalt driveway under the Portico Entrance to the Lobby and Reception Desk with gardens up against the front walls with wood rails.
- 11.3.7 The underside of the Portico is a covered soffit with recess lighting in **Good Condition**.

## 12.0 Insulation as Observed and by Industry Standards:

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### 12.1 Description:

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- 12.2.1 The presence of insulation on the exterior walls was not visible but noted by Typical Industry Standards that are compliant with the City of Santa Fe's Building Permits.
- 12.2.2 Rigid foam insulation is believed to be present on the roof decking under the roof membrane.
- 12.2.3 R-20 for walls and between floors would be typical.
- 12.2.4 R-40 for the roof would be typical.
- 12.2.5 R-20 batt insulation was present under the Crawl Space between floor joists that were seen.

## 13.0 Breakfast & Equipment

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### 13.1 Description

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- 13.1.1 The Breakfast Service area and Lobby is minimal and adequate but will need to pass all Health and Building Codes at transfer of Ownership.
- 13.1.2 The Breakfast equipment consist of a Microwave, Steam Cooker, Coffee makers and Bar Sink that are working with no defects found.
- 13.1.3 There's a hallway bank of vending machines that are supplied by third party vendors.

## 14.0 Defects Found:

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### Please Refer to the Photographs for other found defects.

1. Torch-down roof will need repairs and reappointments at least every year.
2. Hot/ Tar & Mop roof will need repairs and reappointments at least every year.
3. Remove any loose debris and unnecessary tools on the roof to prevent membrane deterioration.
4. The Stucco walls are badly worn in a few areas and will need a future Stucco Restoration.
5. Concrete sidewalks will to be removed & replaced where badly cracked.
6. Concrete sidewalks will need Butyl Calking at the seams after the Stucco Work.
7. Check with a Licensed Plumbing to remedy any plumbing and code issues as per State regulations.
8. Consult with Licensed Mechanical Contractor to verify the Carrier Furnace for its capacity and/ or replace.
9. Consult with a Licensed Mechanical Contractor to verify the Champion Swamp Cooler and/ or replace.
10. If any AC condensers are removed, make sure a professional company properly captures the refrigerants.

11. Repair base of the wall at the 1979 Northeast corner where moisture was found under the Crawl Space.
12. Crawl Space batt insulation will need to be refastened to the floor joists and more added as needed.
13. Consult with a Licensed Electrician to verify all GFIC circuits on the Bathrooms and Utilities areas.
14. Consult with a Licensed Electrician to correct loose wires on the Roof and Crawl Space where exposed wires need cover plates and/ or placed inside J-boxes for safety, as per ICC & UEC Codes.
15. All glass doors and windows that are showing condensation should be exchanged with thermopane glass.
16. Clean and lubricate all window tracks latches and replace throughout the Building.
17. Replace all worn carpeting and brace subfloors with attention to soft spots and floor leveling as needed.
18. Consult with an electrician for the placement and use of the smoke alarms as per the Fire Marshall Codes.
19. All Exterior exposed woodwork should be oil-seal with Behr Products to prevent weathering.
20. All Exterior painted woodwork should be repainted at least every 5-years.
21. Building will need detailing with Stucco repairs and patching and/ or to consider a Stucco Restoration.

#### **SUGGESTED IMPROVEMENTS:**

22. Consult with a Plumber & Mechanical Contractor to assist with the cost of Maintenance & Remedies.
23. Consult with a Plumber to verify if a Back-Flo system is needed for chemical lab waste.
24. Consult with a Building Contractor for recent State Building Code upgrades before Remodeling.
25. Consult with State Regulations on ADA requirements for Public use.
26. Consult with an electrician for the placement and use of the smoke alarms.
27. Consult with a Roofing Contractor to assist with the cost for future Maintenance & Upkeep.
28. Consult with a Stucco Contractor to assist with the cost of a Stucco Restoration & future Maintenance
29. Consult with an Asphalt Paving Company to Hot Asphalt Overlay & Re-Stripe the Parking lots.

#### **SAFETY ISSUES:**

30. The Smoke detectors installed throughout the Guest Room and Public areas **WERE NOT VERIFIED** due to the new recommendations of the National US Fire Administration; to replace all smoke alarms at the point of a sale or every 5-years rather than testing or changing batteries. Consult with the appropriate Licensed Specialist that is verified by the City Fire Marshall for guidance.

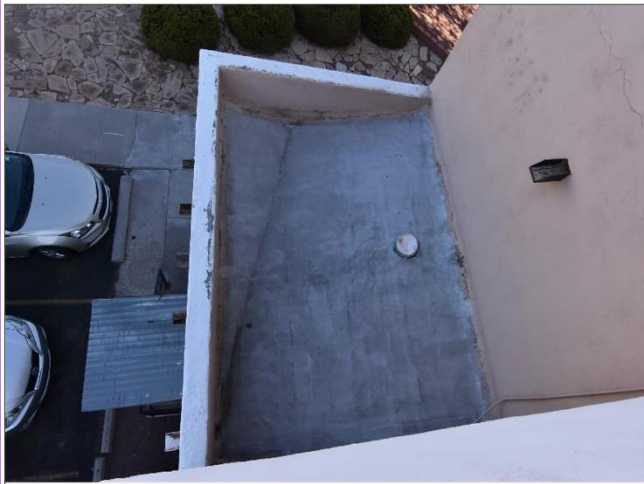
## 15.0 Photographs:



1. 1979 Portion of the Roof is Torch-down showing a lot of patching and will need professional reappointments in a timely manner.



2. 1979 Portion of the Roof is Torch-down showing a lot of patching and will need professional reappointments in a timely manner.



3. Lower roof over a storage room is a membrane roof that is sustainable for now and should be maintained at the same time as the upper roof.



4. Upper roof section is a membrane roof that is sustainable for now and should be maintained at the same time as the rest of the roof levels.



5. 1989 Portion of Roof is Hot/ Tar & Mop and is in better shape than the 1979 portion.



6. 1989 Portion of Roof is Hot/ Tar & Mop and is in better shape than the 1979 portion

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7. Parapets are Torch-down membrane and will need attention by a Professional Roofing Company.



8. Parapets are Torch-down membrane and will need attention by a Professional Roofing Company.



9. Faux Bell tower on the backside will need to be address with a Professional Roofing company because leaking may occur.



10. Debris and tools left out in the weather in bad and can cause deterioration of the membranes.



11. Left over nails that are rusted should be removed because they can cause deterioration of the membranes.



12. Hatch top the roof should have a better ladder for safety to inspect and maintained the roof.

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13. Under carriage of the building's Crawl Space will need attention to refasten the batt insulation and loose wires that have come loose.



14. Crawl Space is showing a Platform type V-A construction with covered wood and supported by 4-rows of post-piers on circular concrete pads.



15. Moisture was found under the Crawl Space with water coming in from the exterior wall on the Northeast side that will need immediate remedies.



16. Water breach found on the Northeast side with loose bricks that are out of place with this type of construction should be removed with other remedies.



17. Plumbing pipes found under the Crawl Space seen to be reasonable with recent pipe wrap and without finding any other failures.



18. Access to the Crawl Space is minimal by using a kitchen type of step stool.

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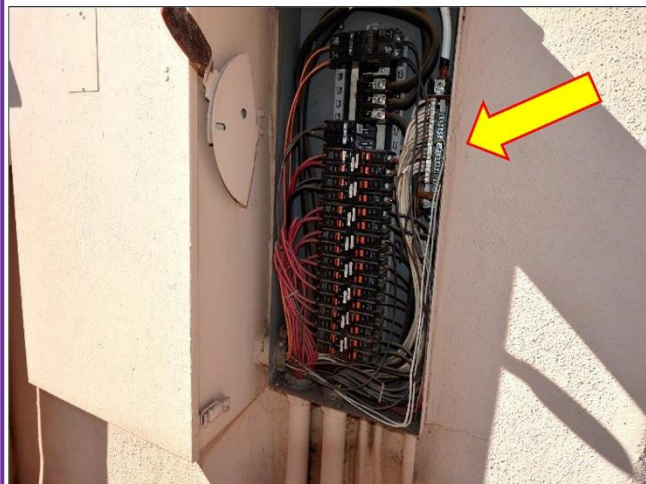




19. Electrical service wall on the East side will need to be verified by a licensed electrician.



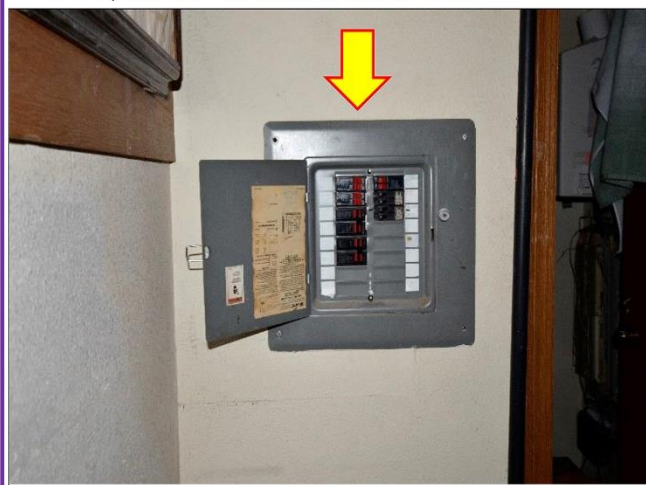
20. One PNM electrical Meter found on the East side of the Building has a cover door for readings.



21. 200Amp panels found on the East side of the Building is in immediate need to provide an interior cover plate and an outer lockable door.



22. Five 200Amp panels found in the Service closet = 1000Amp Service to the 1989 portion of the Building. Better ventilation will be needed for this confined area.



23. Typical 100Amp panel found on the First Floor of the 1979 portion of the Building having 15-panels to supply electrical circuits to 60-rooms at one per four.



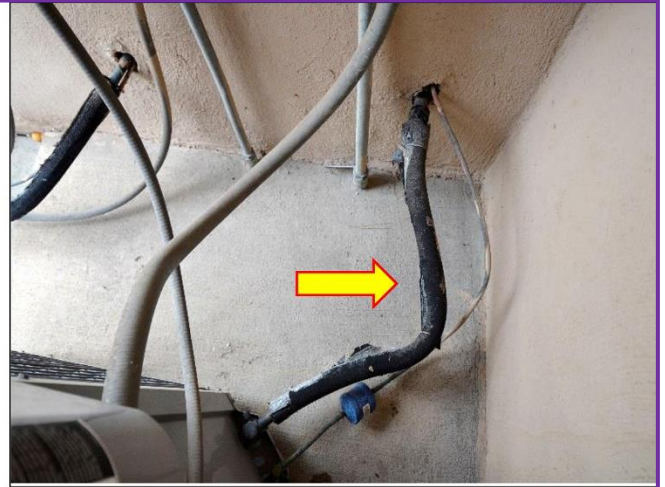
24. Typical **Amana PTAK** heating & cooling units are found in all Guest rooms and undergoing continuous maintenance and replacement as needed.

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25. Condensers on the East side of the Building will need to be rewrapped with Armaflex insulation of the refrigerant lines.



26. Refrigerant line will need to be rewrapped with Armaflex insulation.



27. Three Laundry Dryers found, and one was NOT working at the time of the Inspection.



28. Ducting behind the Laundry Dryers for lint venting are badly damaged and will need to be replaced.



29. Two Laundry Machines found are working in good order.



30. Swamp cooler found on the East side of the Building is for the Laundry Room only that will need annual servicing.

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31. **Carrier** Furnace & AC Unit will need immediate Servicing by a Licensed trades' Professional. See *Thomas' Report*.



32. Two **Carrier** condensers found on the East side of the Building are for the Office, (smaller) and Lobby (larger) are for heating & cooling purposes.



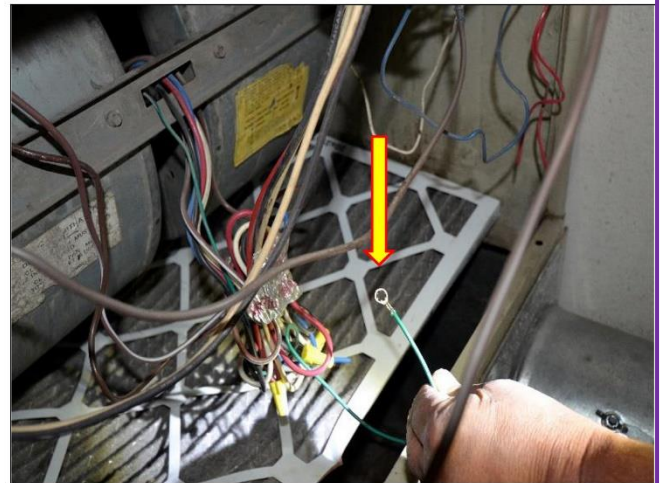
33. Inverter electrical heater for the Office in the Utility Closet's ceiling was NOT working at the time of the Inspections and will need service or replacing.



34. Vent opening at the Laundry Room needs a cover grill and the stucco wall below showing exposed lath wire will need to be repaired.



35. The Exhaust flue angle is too high and will not draft properly.



36. Wiring inside the carrier Furnace & AC Unit will need to be corrected by an electrician because the grounding node wire is not grounded.

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37. Two 100-gallon H<sub>2</sub>O heaters have been properly installed in the 1989 portion of the Building.



38. Exhaust flues have been properly installed with the proper slope angle to exit the exhaust gases.



39. Mechanical closet having the two 100-gallon H<sub>2</sub>O heaters will need serious attention as reported by the *Thomas' Report*. Too much clutter in the room.



40. As per the *Thomas' Report*, the ceiling inside the Mechanical closet will need fireproofing and many other repairs.



41. Mechanical closet having the two 100-gallon H<sub>2</sub>O heaters will need serious attention as reported by the *Thomas' Report*.



42. Outside Mechanical closet on the 1979 portion of the Building need immediate repairs as per the *Thomas' Report*. The vent is improper.

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43. Downdraft vent found behind Lobby access area is for heating & cooling, but the register is loose and needs to be secured.



44. All Smoke Alarms throughout the Building and Guest Rooms will need to be Verified by a Licensed Electrician and Certified by the Fire Marshall.



45. Example of some of the worst cracking found around windows, doors and PTAK openings that will need a Stucco repair and Stucco Restoration analysis.



46. Windowsills at the Garden Level windows on the East side of the Building will need immediate attention for drainage and repairs to the stucco.



47. Example of Several electrical boxes that were missing cover plates and will need to be provided as per ICC & State UEC Codes.



48. Example of broken Concrete flatwork that has deteriorated and will need to be removed & replaced.

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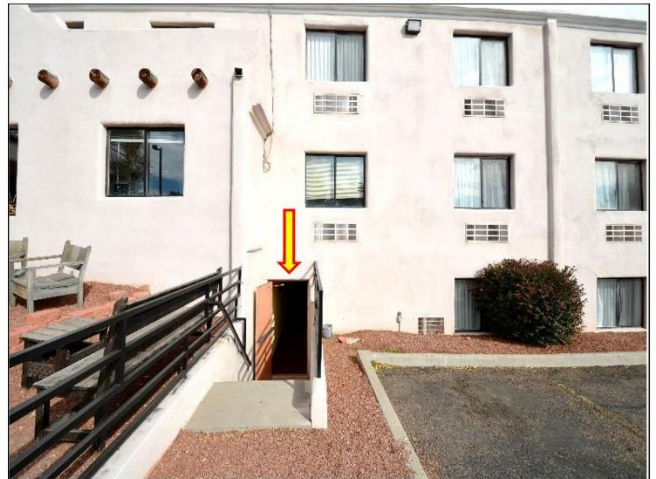
49. Asphalt driveway and parking lots have unraveled, showing alligator cracking and sinking potholes; will need a hot asphalt overlay and restripe.



50. Concrete Flatwork is badly cracked in a few areas on the Entrance that can be tripping hazards and will need to be removed & replaced at expansion joints.



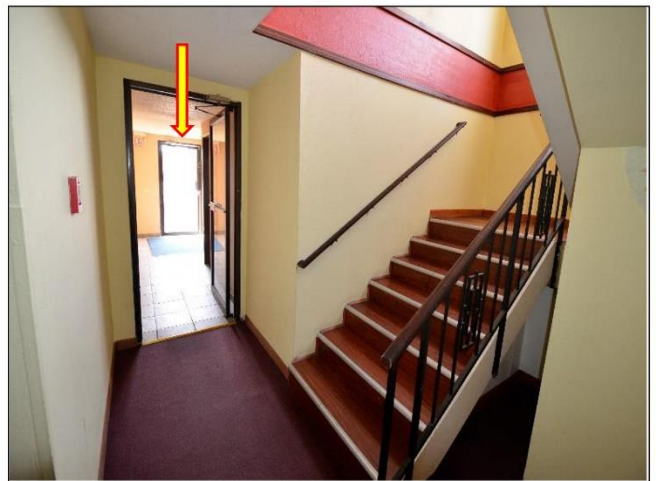
51. Garden Level floor South exit door should remain unlock and if locked should have an operating panic bar to be verified by the Fire Marshall



52. Garden Level floor second West exit door should remain unlock and if locked should have an operating panic bar to be verified by the Fire Marshall.



53. Entrance & Garden Level have exit doors that always remain unlocked and if locked should have an operating panic bar to be verified by the Fire Marshall.



54. Exit door on the West side of Building if locked should have an operating panic bar to be verified by the Fire Marshall.

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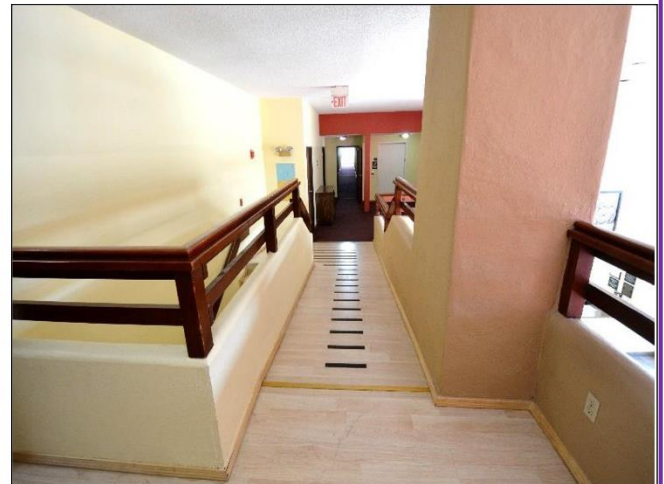
55. Signage throughout the Buildings are secured and labeled properly.



56. Staircase from the 1<sup>st</sup> floor to the 2<sup>nd</sup> floor are located at each end of the building with a middle staircase as required per fire safety codes.



57. Typical Second story Hallway that is 5-feet wide with fire extinguishers inside glass cases are secured on both ends of the hallways.



58. Second Story ramps that are 24" higher on the 1979 portion to the lower 1989 portion



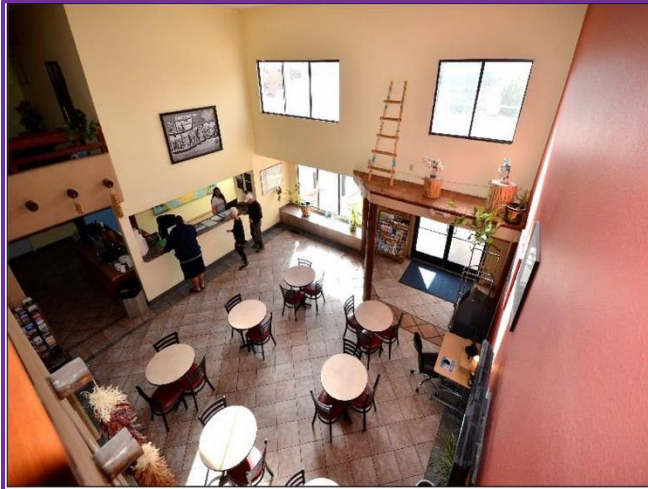
59. Otis Elevator, 30-feet<sup>2</sup> is for 3-floor levels was operating at the time of Inspection but will need to be Verified by Certified means.



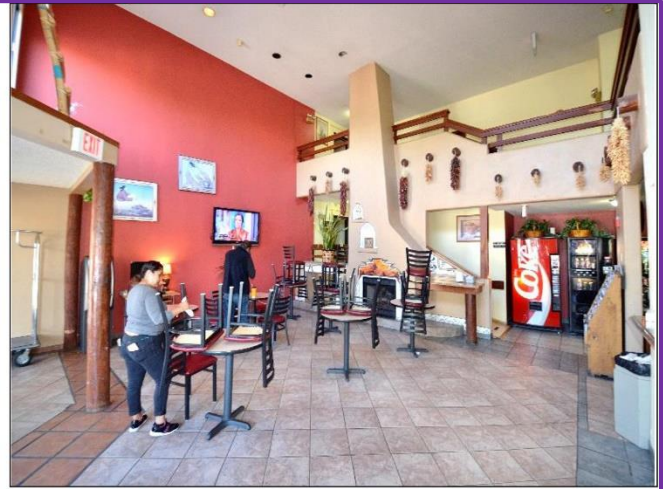
60. Garden Level Hallway 5-feet wide under the two stories above.

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61. Balcony view of the Entrance & Lobby area are in **Satisfactory Condition.**



62. First Level of the Entrance & Lobby area are in **Satisfactory Condition.**



63. Lobby Gas Fireplace needs maintenance.



64. Typical Meeting room of two one on each floor level on the 1979 portion of the Building are for Guest-use by prearrangement.



65. Breakfast Service area behind Lobby is for Guest use from 7:00 to 11:00 AM.



66. Location of venting machines behind Lobby is for Guest use 24-hours.

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67. Exercise Room for Guest use.



68. Coin Laundry room for Guest use.



69. Typical Single Guest Room is in **Satisfactory Condition.**



70. Typical Double Guest Room is in **Satisfactory Condition.**



71. Typical Guest Suite out of four Suites are in **Satisfactory Condition.**



72. Typical Guest Suite out of four Suites are in **Satisfactory Condition.**

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73. Typical Guest Room Bathroom vanity separate of the toilet and bathtub room.



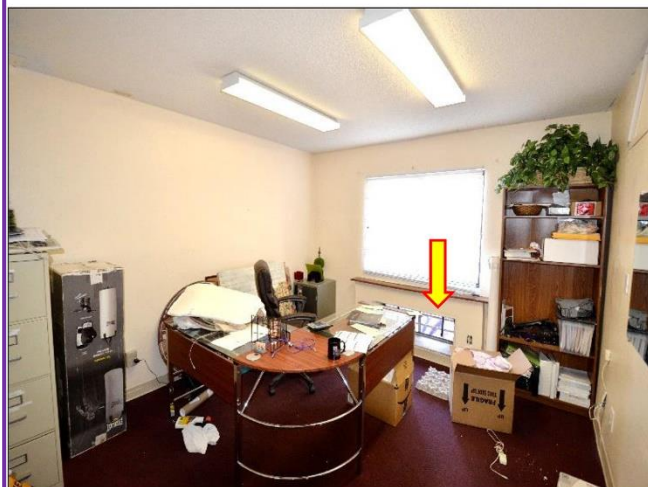
74. Typical Guest Room Bathroom toilet and bathtub/shower with curtain is behind a closed door.



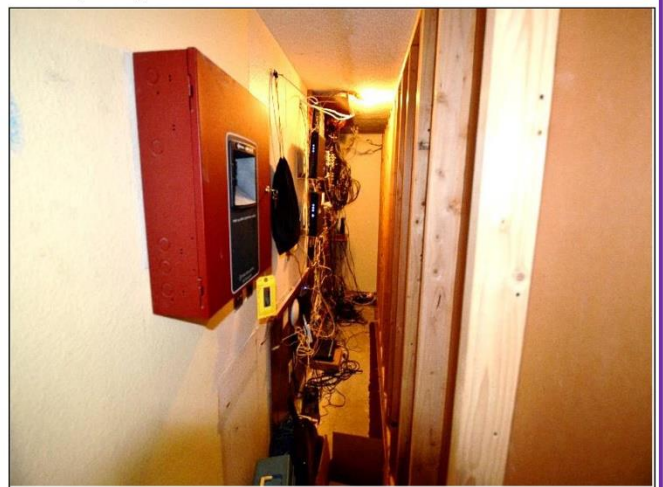
75. Bathroom fan is missing cover and all fans will need to be verified.



76. Hallways on the 1979 portion of the Building has many soft spots and seam separations under the carpeting that will need immediate attention.



77. Manager's Office behind Reception desk is missing a PTAK heating & cooling Unit.



78. Communication closet for Guest rooms is between Office and Reception desk.

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79. Employee's break and lunchroom is in **Satisfactory Condition.**



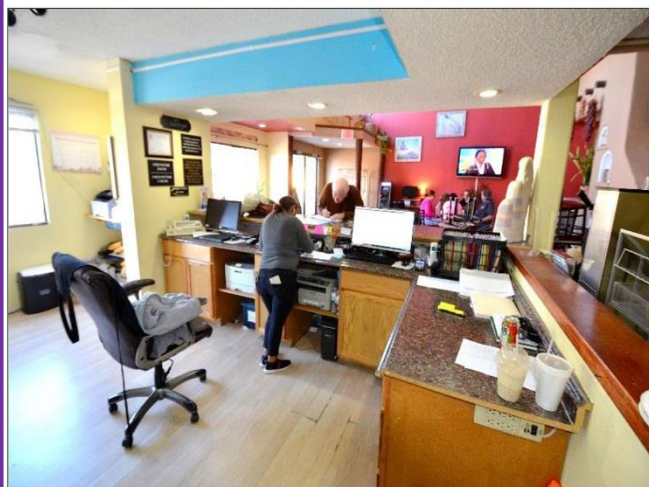
80. Two story Laundry shaft to Laundry room is not in use.



81. Bathroom behind Lobby Hallway is for Public Use is in **Satisfactory Condition.**



82. Public Bathroom is not ADA compliant without have grab bars, etc.



83. Lobby Reception Desk is in **Satisfactory Condition.**



84. Street frontage and signage is in **Satisfactory Condition.**

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## 16.0 Closing Comments

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This report provides an overview of the conditions of the major components within this building.

ActiveHome Inspections considers this building to be in reasonable condition for its age as well as being maintained for its 40-years of continuing use, although maintenance will always be necessary by professional means.

Should you have any questions, please do not hesitate to contact us.

Sincerely yours.

*Electronically signed*

Robert Willis

### \*\*\*End of Report\*\*\*

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